

The logo for International Housing Solutions features a stylized blue roofline above a thick, curved orange swoosh that arches from the top right towards the center.

International Housing Solutions

A Social Audit Conducted on IHS Residential Units

What Are the Derived Social Benefits of Occupying Affordable Housing in South Africa ?

By Francois Viruly A/Professor



UNIVERSITY OF CAPE TOWN
IYUNIVESITHI YASEKAPA • UNIVERSITEIT VAN KAAPSTAD

The Purpose of the Research

- To undertake a social audit of the properties which IHS has invested in;
- The direct and indirect benefits that tenants and owners derive from housing units provided by IHS;
- To understand the direct and indirect employment opportunities created during the construction and occupation phase of affordable housing units;
- Two sets of questionnaires were compiled, one for JV partners and another for the occupiers of units.



Employment Creation

Construction Employment	Direct	Indirect	Total
Full time/per annum	18 500	27 750	46 250
Operating Expenditure			5 312
Total			51 562

Employment Creation per Unit				
	Skilled	Unskilled	Indirect Multiplier	Total (Incl Multiplier)
Employment (per unit) 13 weeks (*)	1.04	1.44	2.48	5.62
Operating Expenditure (per R/million/rental turnover/per annum)				5.00

* Employment Creation will vary depending on typology of housing

Estimated Job Creation From Investments in Fund I

Construction/Development

- Man hours of employment equivalent to 50,000 jobs

Operational for Rental

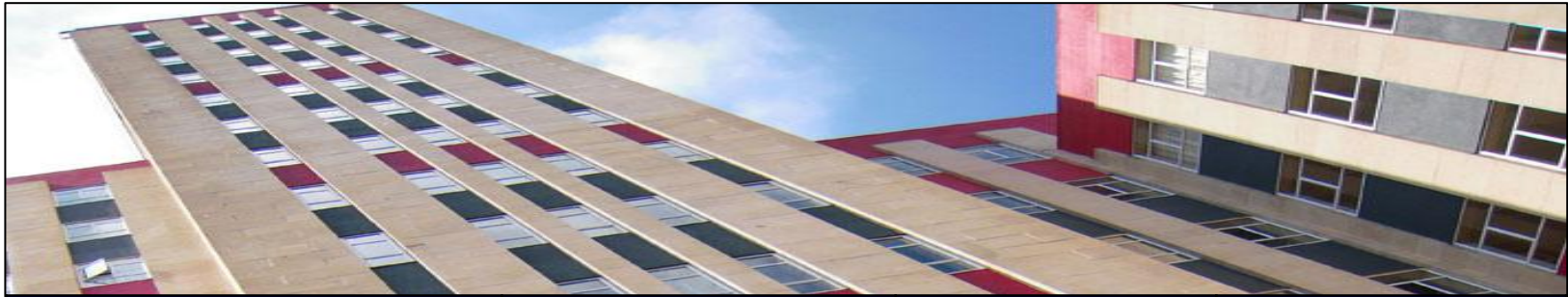
- Man hours of employment equivalent to 5,300 . This is in perpetuity and over the 10-year life of the Fund is 53,000

Total job creation over the life of the Fund and beyond = +100,000

Positive and Negative Effects that Residential Developments Create

	Tenants/Owners	Development
Positive Effects	<ul style="list-style-type: none"> • Improvement in health • Better schools • Better transport • Better health • Better access to opportunities • Inclusion 	<ul style="list-style-type: none"> • Direct employment • Indirect employment • Skills transfer
Negative Effects	<ul style="list-style-type: none"> • Noise creation • Increased crime • Far from work • Exclusion 	<ul style="list-style-type: none"> • Pollution • Increased congestion • Community disruption • Green issues

IHS Funded Projects Surveyed



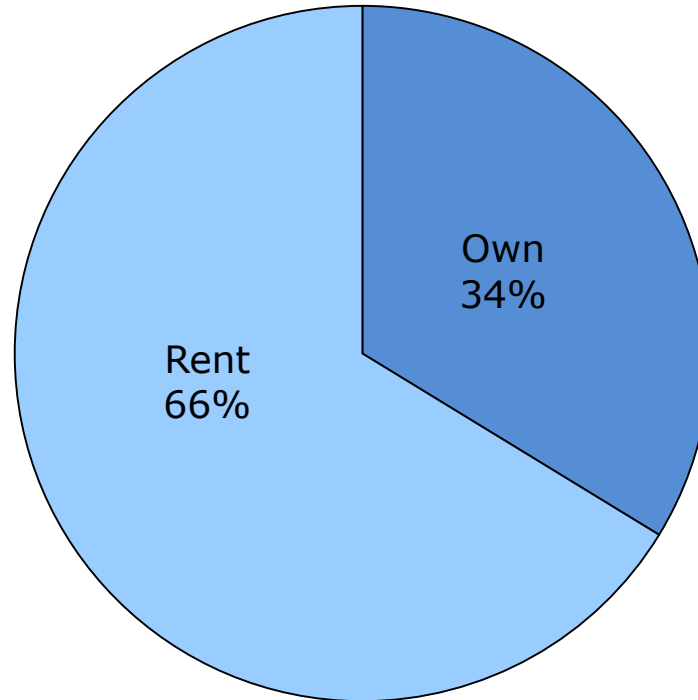
Development 12,281	Total Number of units when Completed	Estimated Number of Completed Units at Time of Interviews	Number of Interviews
Fleurhof, Johannesburg	9473	450	105
Protea Glen, Johannesburg	176	176	60
Jukskei View, Johannesburg	715	150	18
Greatermans, Johannesburg	428	428	105
Aengus, Johannesburg	925	925	105
Stellendale, Western Cape	564	250	32
TOTAL	12,281	2,379	425

The Developments Surveyed (Units either Rented or For sale)

Development	Rental	For Sale	Location
Fleurhof	✓	✓	Soweto GP
Greaterman's	✓		Jhb CBD GP
Aengus	✓		Jhb Inner City GP
Stellendale		✓	Stellendale Village Kuilsriver WC
Jabulani	✓	✓	Jabulani Soweto GP
Protea Glen	✓		Protea Glen Soweto GP
Jukskei View		✓	Midrand GP
Spring Valley		✓	Emalahleni Witbank MP



Renting vs Owning (of Interviewed Population)



Social Objectives of JV Partners

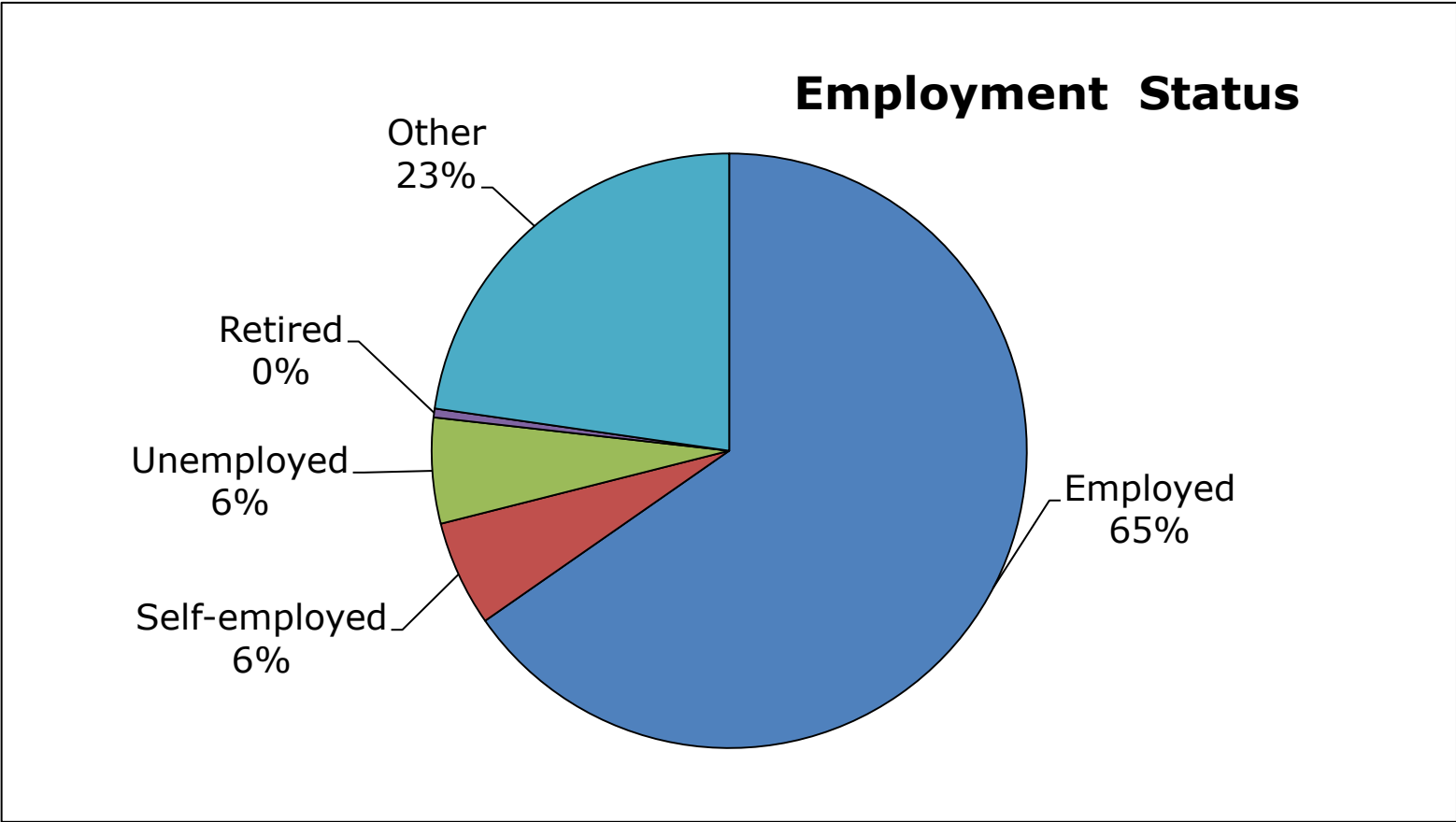
Stellendale	Employment
Spring Valley	The social objectives are to provide developed land that can be used to develop housing in the affordable market
Greatermans	The development sought to address dire shortage of decent, well managed, affordable accommodation in Jhb inner city
Protea Glen	Giving people an opportunity to better their lives by renting now and convert to owner as finances improve
Fleurhof	To uplift the community by providing the integrated society with quality houses, crèches, schools, community centres and training centres
Jabulani	To uplift the community by providing integrated society a school, community centres
Jukskei View	Creating a secure housing estate of affordable free standing units in the Midrand Area

Age Group

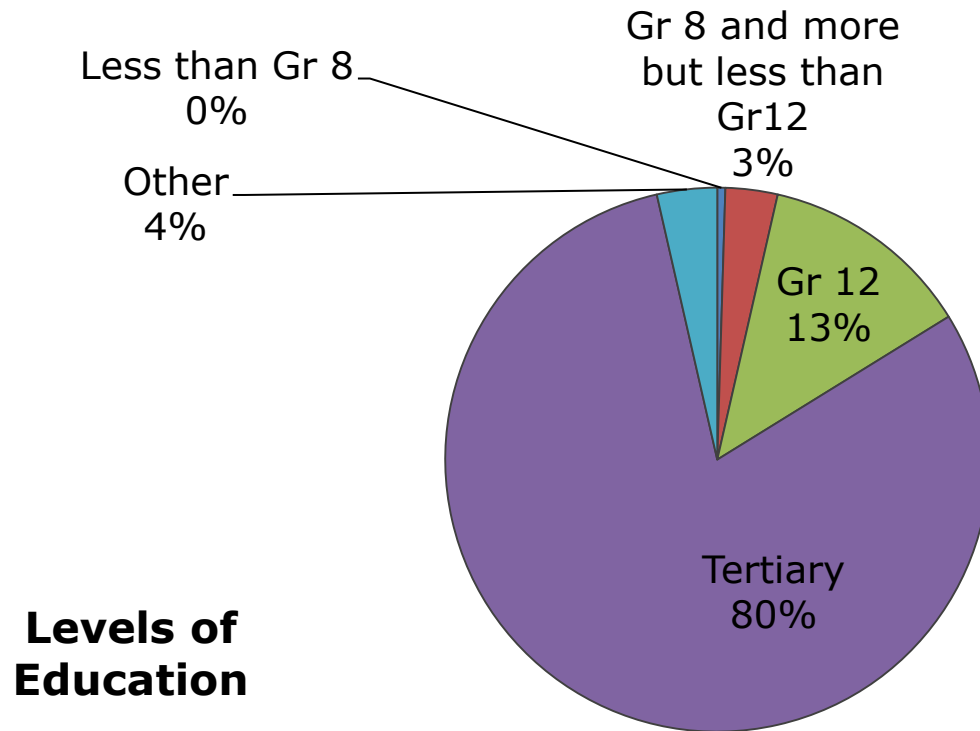
Age Group		Frequency	Percent	Valid %	Cumulative %
Valid	20-29	220	52.1	52.6	52.6
	30-39	139	32.9	33.3	85.9
	40-49	44	10.4	10.5	96.4
	50-59	12	2.8	2.9	99.3
	60-69	2	.5	.5	99.8
	70 or older	1	.2	.2	100.0
	Total	418	99.1	100.0	
Missing	System	4	.9		
Total		422	100.0		

- 52% fall in the age category 20-29
- 46% interviewed were males
- 61% were single , and 32% married
- 56% have children

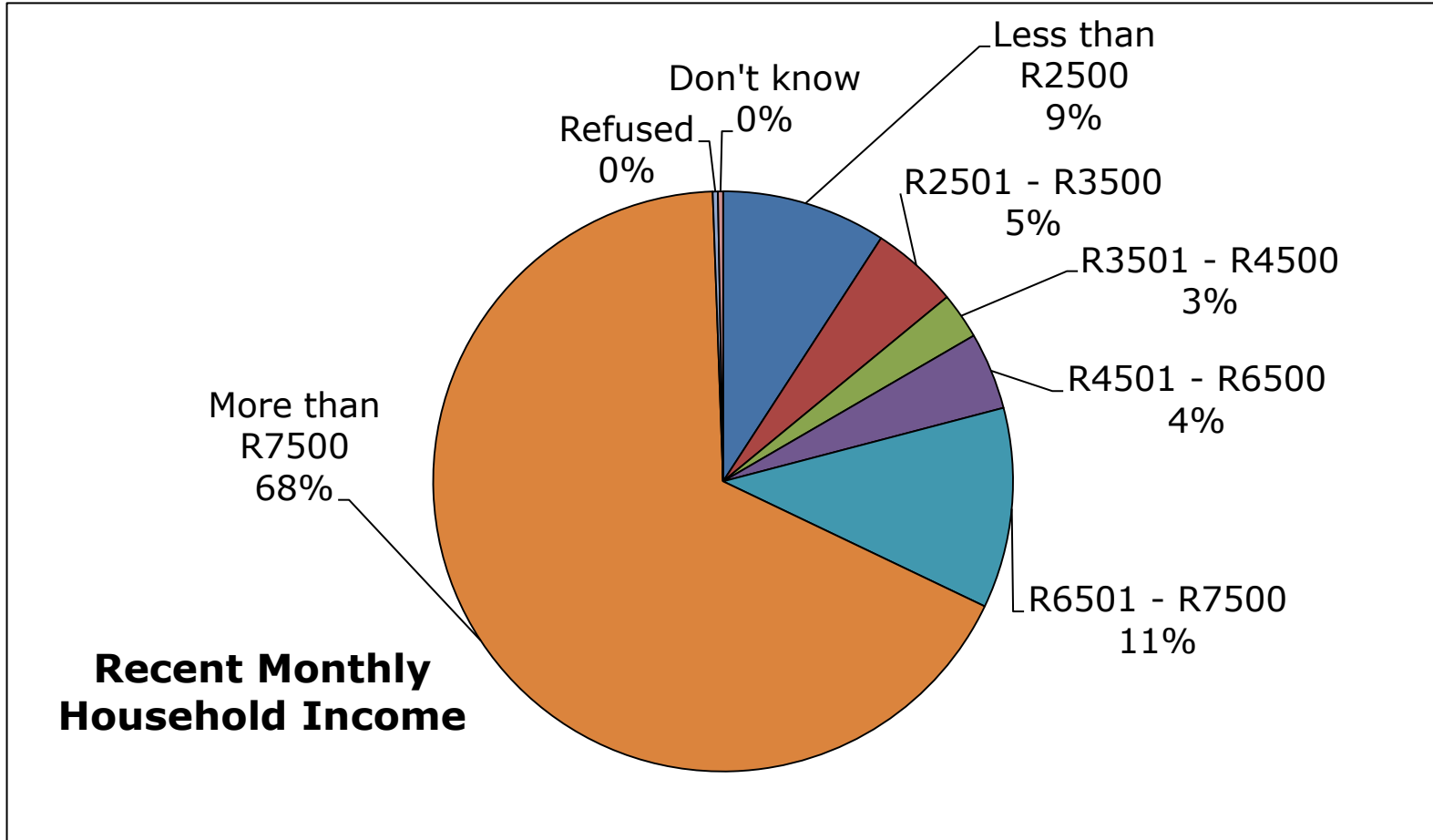
Employment Status



Levels of Education

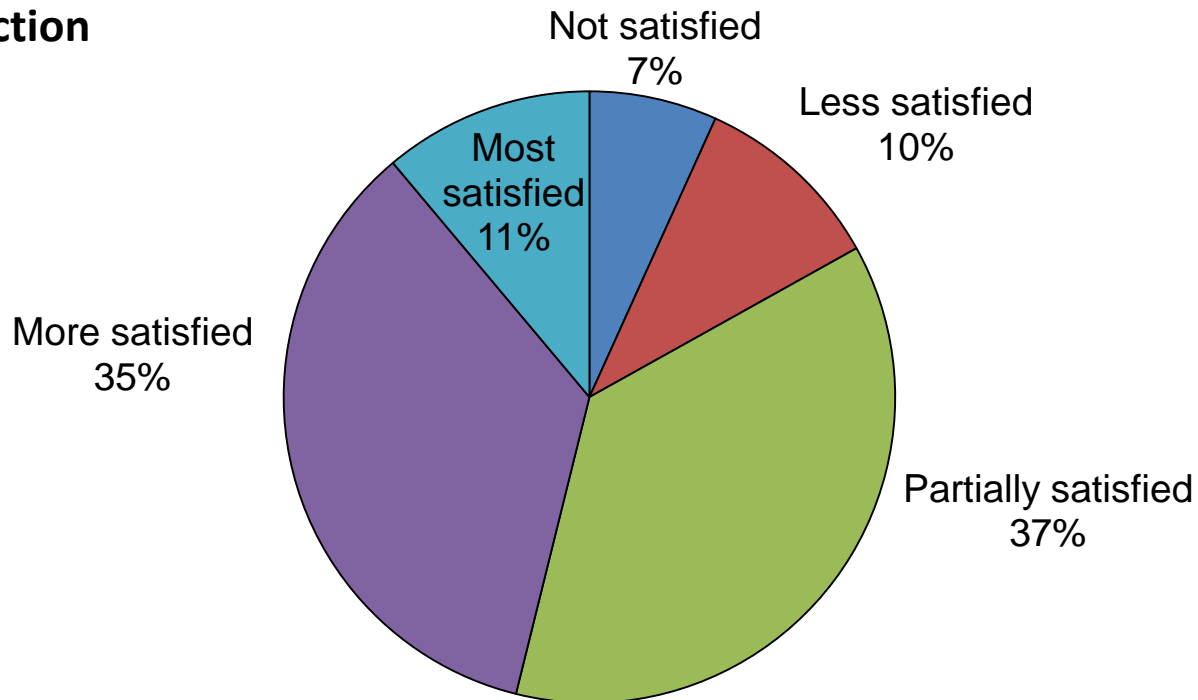


Monthly Household Income



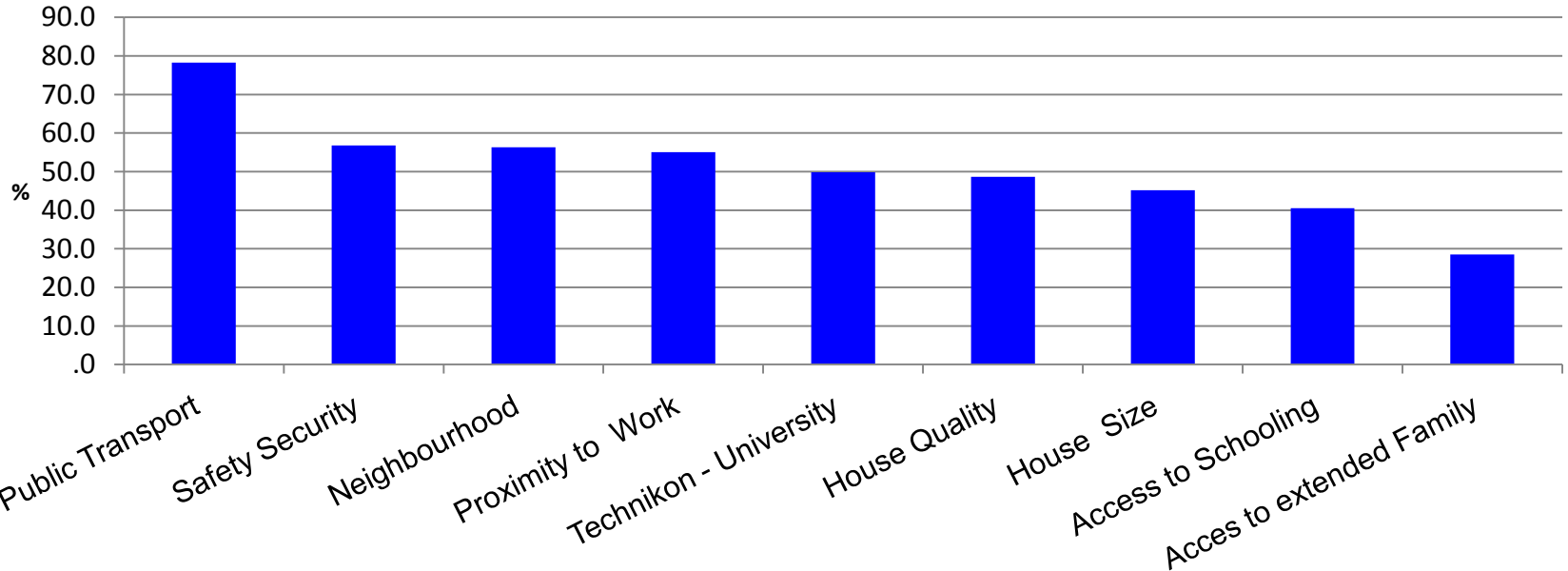
Overall Satisfaction Survey Compared to Where They Used to Reside

Overall Satisfaction



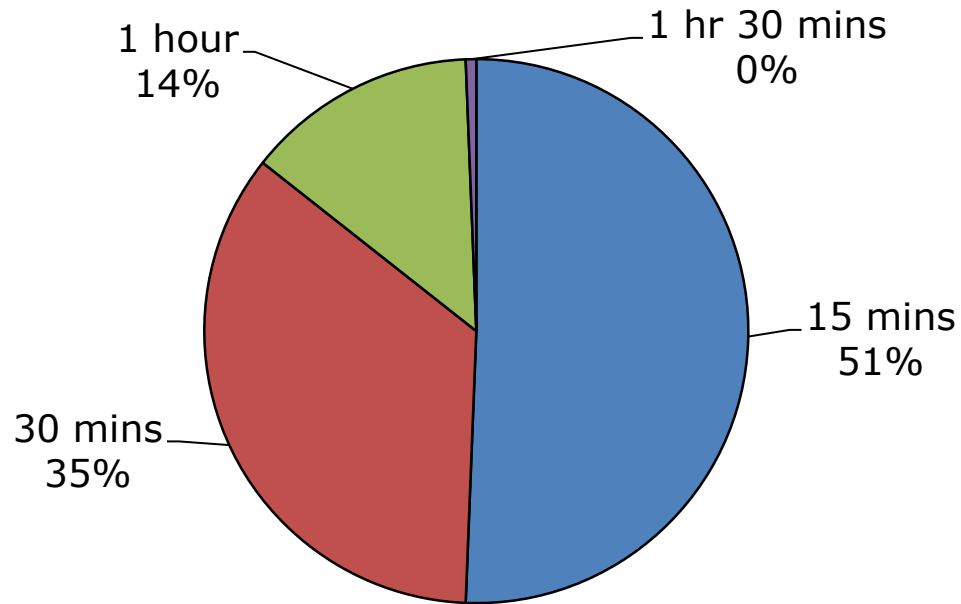
Satisfaction Survey Various Aspects of the Unit

% Satisfied and Most Satisfied Regarding Access to ...



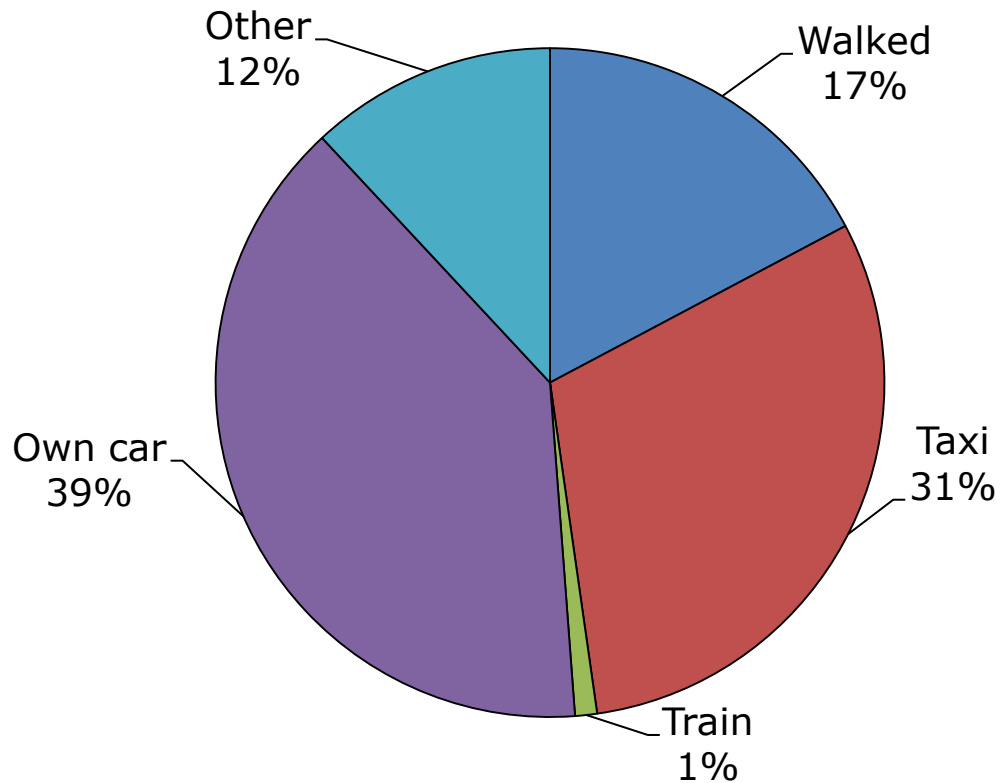
How Long Does It Take a Child to Get to School One Way

How Long Does It Take a Child to Get to School One Way

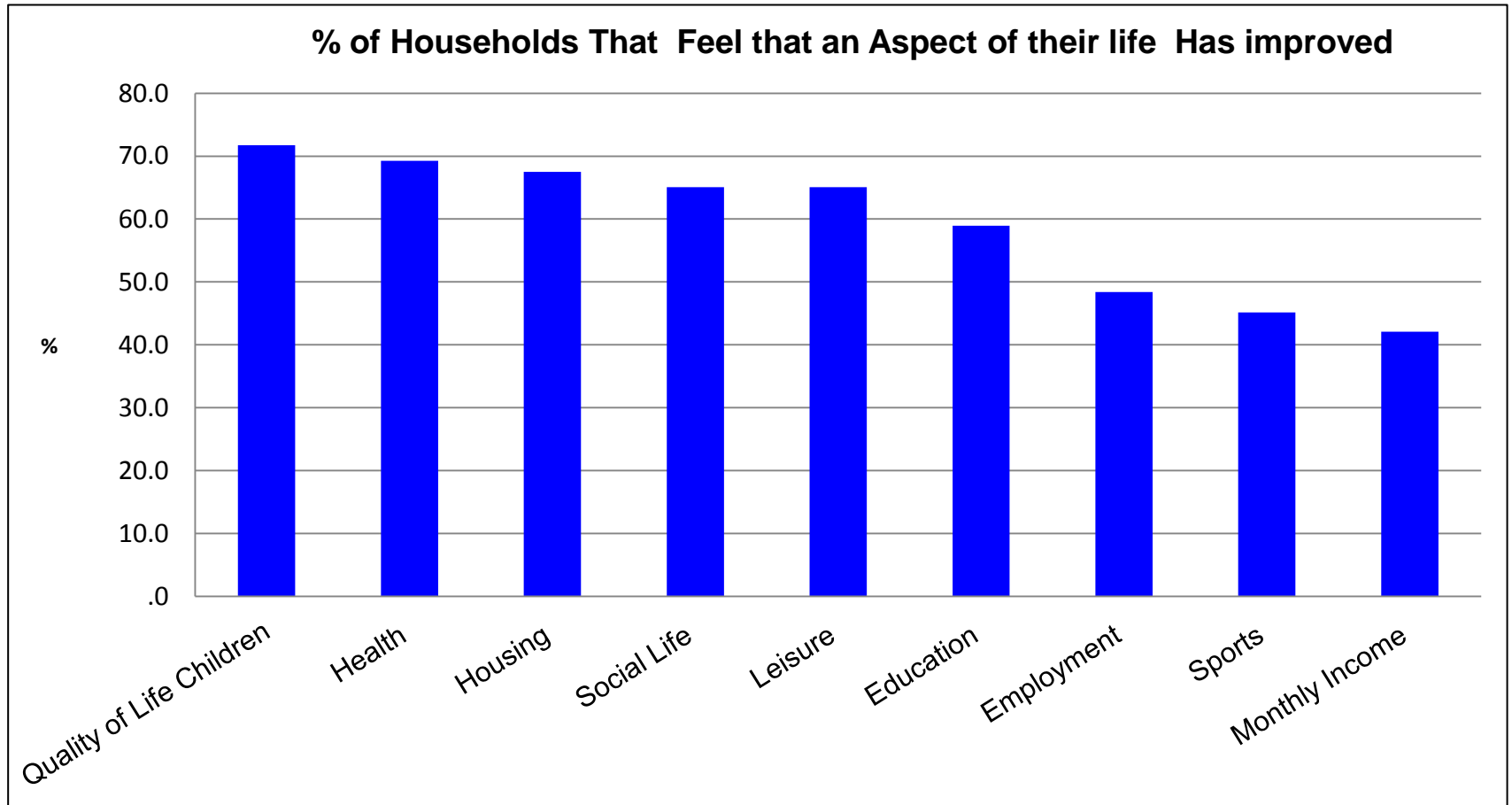


Mode of Transport to Work

How Did You Get to Work Yesterday ?



Improvement in Lifestyle



Student Satisfaction

Overall Satisfaction Student		Frequency	Percent	Valid %	Cumulative %
Valid	Not satisfied	6	6.7	6.7	6.7
	Less satisfied	17	18.9	19.1	25.8
	Partially satisfied	33	36.7	37.1	62.9
	More than satisfied	28	31.1	31.5	94.4
	Most satisfied	5	5.6	5.6	100.0
	Total	89	98.9	100.0	
Missing	System	1	1.1		
Total		90	100.0		

Welfare Improvement in the Students' Lives

Welfare Improvement in Students' Lives	Percentage
Access to education	78.7%
An improvement in their social life	72.3%
Improvement in health	71.5%
Improvement in income	63.8%
Improvement in leisure	63.3%
Housing	59%
Access to entertainment	58%

Improvement in Lifestyle

% that feels conditiona has become Better/ Much better	Ownership	Rental	CBD Units	Non CBD Units
Improvement in employment	50.4%	47.4%	52.3%	48.3 %
Improvement in housing condition	76.8%	62.6%	62.5%	70.3 %
Improvement in income	35.9%	45.9%	47.5%	41.3 %
Improvement in health	60.8%	73.4%	71.3%	68.0 %
Quality of life of children	79.5%	64.8%	59.4%	75.8 %

In Conclusion

- The provision of housing goes well beyond the provision of shelter;
- The survey shows the importance of providing diversity in the housing sector making filtering from one sector the next possible;
- The social audit has shown that quality and well located housing can have a profound effect on the access that households have to social amenities and overall welfare;
- The value placed on a house is determined by numerous factors and will vary from one household to the next and therefore it is of importance to provide sufficient choice.

In Conclusion

- Households place much emphasis on :
 - Security;
 - Distance to place of employment;
 - Access to friends and family;
 - Access to social and recreational amenities ;
 - Professional management of the units in which they live;
- The housing construction sector is an important employer with one of the highest employment multipliers in SA . It is estimated that IHS financing has created some 50'000 direct and indirect employment opportunities. Some 60% of these opportunities are for unskilled workers. The management of the housing stock creates 5'000 continuous skilled and unskilled employment opportunities on an annual basis.

In Conclusion

- Well over 75% of the households interviewed felt that their present accommodation has improved conditions for their children and the overall health of their family.

